



## Rainier Apartments, Croydon, CR0 6FA

£2,500 PCM





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Never previously let, this property has been maintained to the highest standard, with bespoke fitted wardrobes and custom cabinetry adding luxury and ample storage throughout.

A generous entrance hall sets the tone on arrival, creating a welcoming sense of space and flow through the home.

The master suite includes fitted wardrobes and an en-suite shower room, while the versatile third bedroom can serve as a guest room or dedicated home office. Currently arranged as a workspace, it features gloss finish cupboards, open shelving, and an integrated desk, with a large window providing excellent natural light. A second double bedroom and contemporary family bathroom complete the accommodation.

The heart of the home is the open-plan kitchen and living space, designed for both style and practicality. Integrated appliances and modern finishes complement the generous living area, which opens onto a private balcony.

The kitchen is also fitted with a Kettle tap, conveniently providing instant boiling and filtered water from one spout, saving space and energy!

Residents benefit from a concierge service, well equipped fitness suite, lift access, cycle storage and gated communal gardens. Parking is available at an additional cost.

Transport links are key with East Croydon train station

just moments away and providing direct links to London Bridge (16 mins), London Victoria (17 mins), St. Pancras Int (30 mins), Gatwick Airport (15 mins) and the south coast. Other local facilities include, the Tramlink network with links to Wimbledon and Beckenham, multiple bus routes and the popular BOXPARK with its lively and vibrant atmosphere.

Council Tax Band: E (London Borough of Croydon)  
Holding Deposit: £576



Road Map



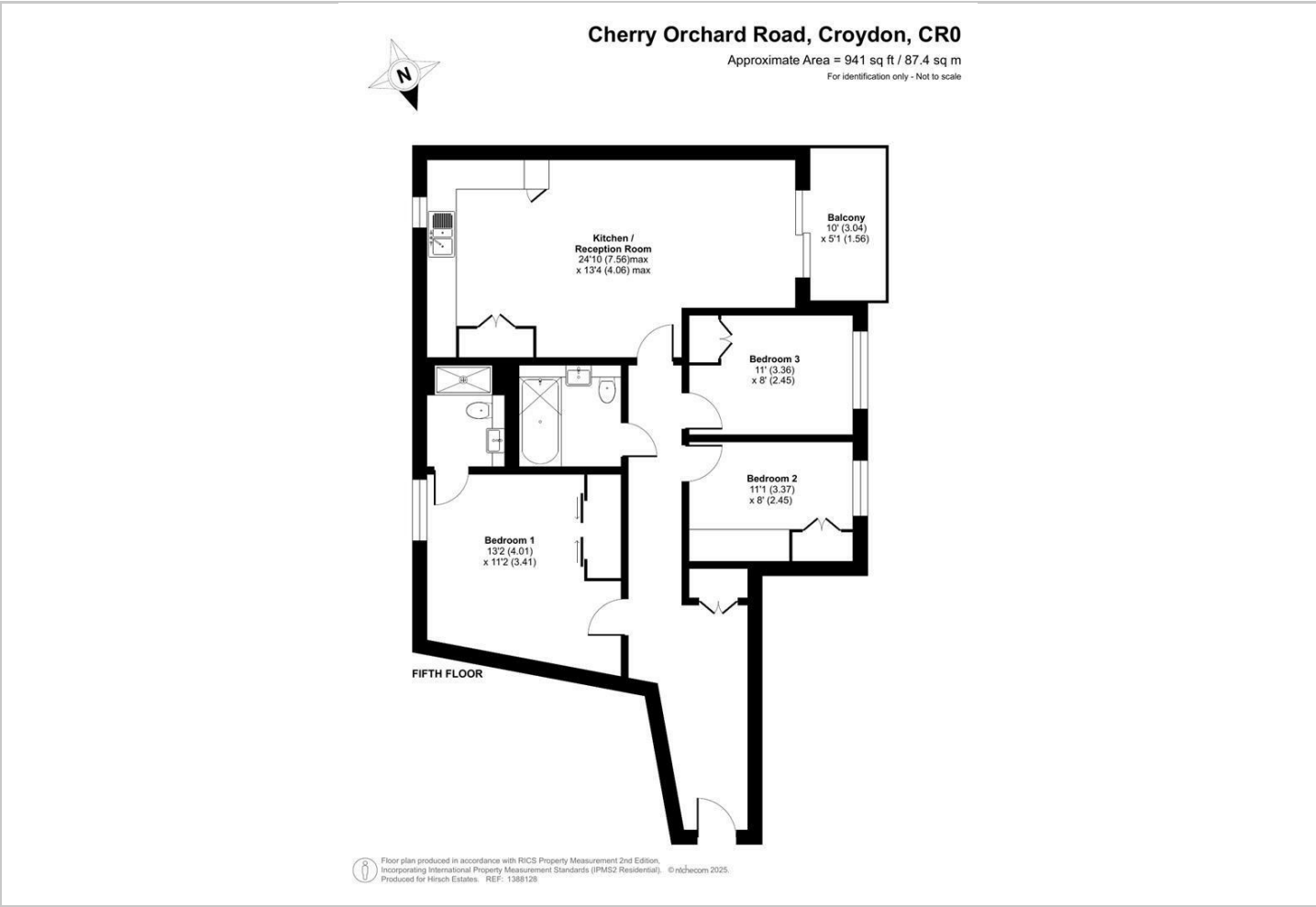
Hybrid Map



Terrain Map



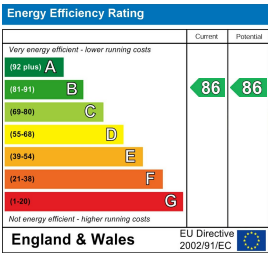
Floor Plan



Viewing

Please contact our Hirsch Estates Office on 020 3002 0587 if you wish to arrange a viewing appointment for this property or require further information.

Energy Efficiency Graph



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